



DRUMMOYNE

227 - 231 VICTORIA ROAD

DEVELOPMENT APPLICATION

Dickson Rothschild
D.R. Design (NSW) Pty. Ltd.
9 Argyle Place,
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Nominated Architect: Robert Nigel Dickson
Registration No: 5364

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REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	ISSUE FOR DA	28/10/2016	NT	AC
B	AMENDED AS PER COUNCIL RFI	10/04/2016	MC	AC

PROJECT
DRUMMOYNE

227 - 231 VICTORIA ROAD

CLIENT
J. BARTOLOTTA

DEVELOPMENT APPLICATION

DRAWING COVER SHEET			
PROJECT NO.	DRAWING NO.	REVISION	DATE
15-030	DA-0-001	B	27/06/2016
		DRAWN	AUTHORISED
		MC	AC





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PROJECT
DRUMMOYNE

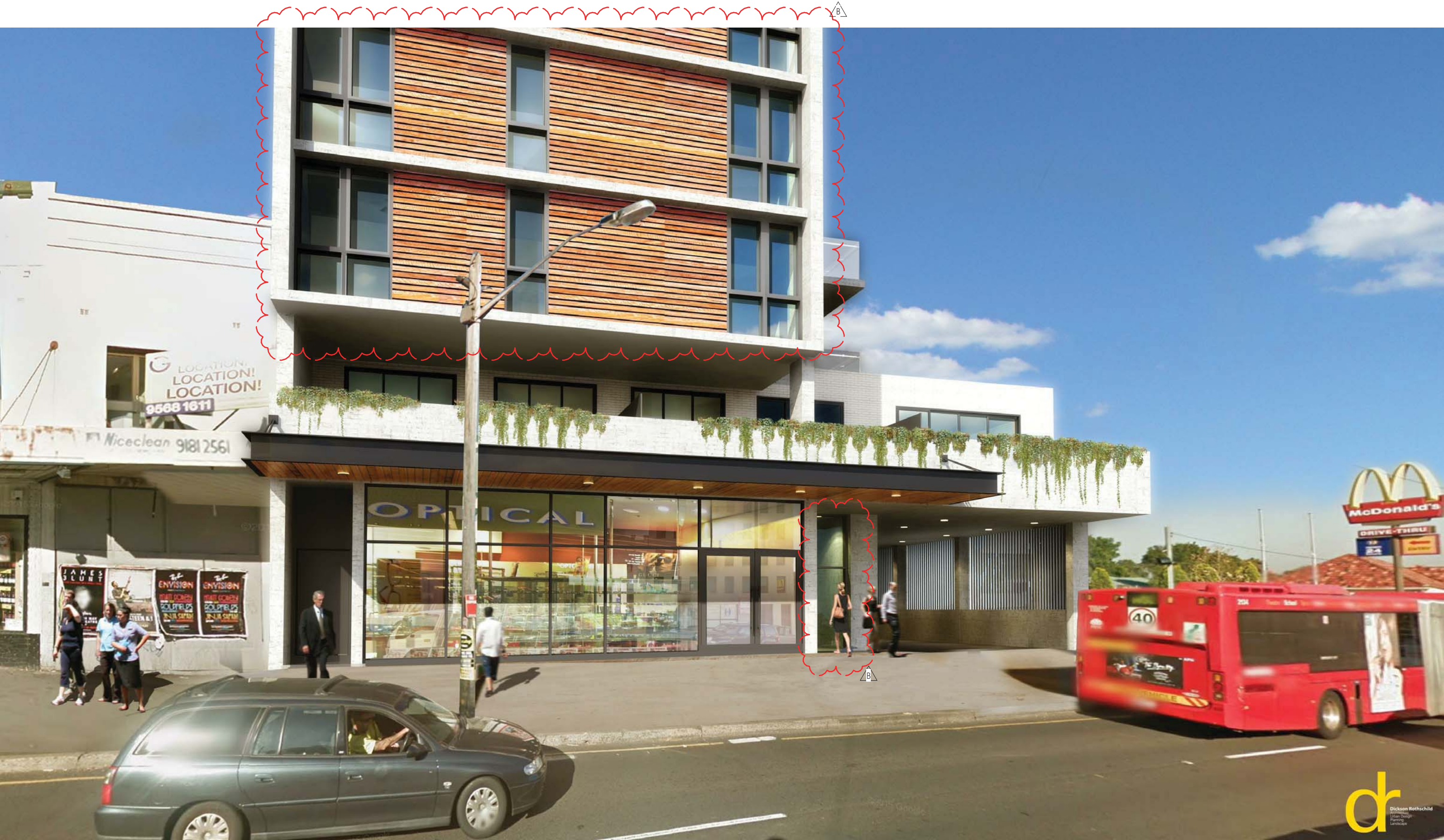
227 - 231 VICTORIA ROAD

CLIENT
J. BARTOLOTTA

DEVELOPMENT APPLICATION

DRAWING			
PHOTOMONTAGE SHEET 1			
PROJECT NO. 15-030	DRAWING NO. DA-0-002	REVISION B	DATE 27/06/2016
SCALE @ A3		DRAWN CP	AUTHORISED AC





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DRUMMOYNE

227 - 231 VICTORIA ROAD

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DEVELOPMENT APPLICATION

DRAWING			
PHOTOMONTAGE SHEET 2			
PROJECT NO.	DRAWING NO.	REVISION	DATE
15-030	DA-0-003	B	27/06/2016
SCALE @ A3		DRAWN	AUTHORISED
		CP	AC



DRAWING LIST		
SHEET	DRAWING NAME	REV
0xx - GENERAL		
DA-0-001	COVER SHEET	B
DA-0-002	PHOTOMONTAGE SHEET 1	B
DA-0-003	PHOTOMONTAGE SHEET 2	B
DA-0-004	DRAWING LIST	B
DA-0-005	PROJECT SUMMARY	B
1xx - SITE		
DA-0-101	SITE ANALYSIS 1	A
DA-0-102	SITE ANALYSIS 2	A
DA-0-103	SITE ANALYSIS 3	A
DA-0-104	SITE ANALYSIS 4	A
DA-0-105	SITE PLAN 1	B
DA-0-106	SITE PLAN 2	B
DA-0-107	DEMOLITION PLAN	A
DA-0-108	SURVEY	
DA-0-109	AMALGAMATION PLAN	A
2xx - PLANS		
DA-0-200	BASEMENT 2	B
DA-0-201	BASEMENT 1	B
DA-0-202	GROUND FLOOR PLAN	B
DA-0-203	LEVEL 1 FLOOR PLAN	B
DA-0-204	LEVEL 2 FLOOR PLAN	B
DA-0-205	LEVEL 3 FLOOR PLAN	B
DA-0-206	LEVEL 4 FLOOR PLAN	B
DA-0-207	LEVEL 5 FLOOR PLAN	B
DA-0-208	LEVEL 6 FLOOR PLAN	B
DA-0-210	COMMUNAL OPEN SPACE	B
DA-0-211	ROOF	B
DA-0-212	ROOFTOP LIGHTING PLAN	A
DA-0-251	GFA PLANS	B

DRAWING LIST		
SHEET	DRAWING NAME	REV
3xx - ELEVATIONS		
DA-0-301	NORTH ELEVATION	B
DA-0-302	SOUTH ELEVATION	A
DA-0-303	WEST ELEVATION	B
DA-0-304	EAST ELEVATION	B
DA-0-305	VICTORIA ROAD ELEVATION	B
4xx - SECTIONS		
DA-0-401	SECTION AA	B
DA-0-402	SECTION BB	B
DA-0-403	ACCESS RAMPS	B
DA-0-404	FACADE SECTIONS	B
6xx - DETAILS		
DA-0-601	ADAPTABLE UNITS	B
DA-0-602	LIVEABLE HOUSING DESIGN – SILVER LEVEL	A
9xx - DIAGRAMS & SCHEDULES		
DA-0-901	FINISHES SCHEDULE	B
DA-0-902	SHADOW ANALYSIS - SHEET 1	B
DA-0-903	SHADOW ANALYSIS - SHEET 2	B
DA-0-904	SHADOW ANALYSIS - SHEET 3	A
DA-0-905	DCP/ADG ENVELOPE DIAGRAM	A
DA-0-911	HEIGHT PLANE DIAGRAM - TOP OF PARAPET 1	B
DA-0-912	HEIGHT PLANE DIAGRAM - TOP OF PARAPET 2	A
DA-0-913	HEIGHT PLANE DIAGRAM - TOP OF PARAPET 3	A
DA-0-914	VIEW ANALYSIS 1	A
DA-0-915	VIEW ANALYSIS 2	A
DA-0-921	SOLAR & CV - SHEET 1	B
DA-0-922	SOLAR & CV - SHEET 2	B
DA-0-923	SOLAR & CV - SHEET 2	B
DA-0-933	FUTURE BUILT FORM ANALYSIS - VICTORIA ROAD 1	A
DA-0-934	FUTURE BUILT FORM ANALYSIS - VICTORIA ROAD 2	A
DA-0-935	FUTURE BUILT FORM ANALYSIS - VICTORIA ROAD 3	A
DA-0-936	FUTURE BUILT FORM ANALYSIS - VICTORIA ROAD 4	A

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Project No: 15-030
Date: Apr-17

Site area (m²): 867.0 m² (DP650973, DP518568)

Canada Bay LEP 2013

Land use	B4 Mixed Use
FSR	2.0:1
GFA	1734.0
Height (m)	20m

Canada Bay DCP 2017

Adaptable Units	3 units	(Between 21 and 29 dwellings)
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Note: all amounts are approximate with a potential variance of up to 5%

Level	Car Parking spaces	GFA		COMMERCIAL Comm tenancies	RESIDENTIAL			
		Comm GFA	Res GFA		Studio	1 bdrm units	2 bdrm units	3 bdrm units
Level 6			249			1	2	
Level 5			279				3	
Level 4			279				3	
Level 3			369				4	
Level 2			369				4	
Level 1			446		1	5		
Ground Floor	2	111	49	1				
Basement 1	15.0							
Basement 2	10.0							
Total	27	111	2040	1	1	6	16	0
Unit Mix								
					4.3%	26.1%	69.6%	0.0%

Proposed FSR Commercial	0.13:1
Total Residential	23
Total GFA	2151
Total parking	27
Proposed FSR	2.48:1

Notes

Canada Bay LEP 2013- GFA Definition
gross floor area means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes:

- (a) the area of a mezzanine, and
(b) habitable rooms in a basement or an attic, and
but excludes:
(d) any area for common vertical circulation, such as lifts and stairs, and
(e) any basement:
(i) storage, and
(ii) vehicular access, loading areas, garbage and services, and
(f) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and
(g) car parking to meet any requirements of the consent authority (including access to that car parking), and
(h) any space used for the loading or unloading of goods (including access to it), and
(i) terraces and balconies with outer walls less than 1.4 metres high, and
(j) voids above a floor at the level of a storey or storey above.

SEPP 65 Apartment Design Guide

Level	SOLAR		CROSS VENTILATION	
	Min. Req	Achieved	Min. Req	Achieved
Ground Floor	70%		60%	
Level 1		2/6		2/6
Level 2		4/4		2/4
Level 3		4/4		4/4
Level 4		3/3		2/3
Level 5		3/3		2/3
Level 6		3/3		3/3
Total	19/23 (82.60%)		15/23 (65.21%)	

Canada Bay DCP 2017 Part C requirements

Commercial Car Parking Requirements	Unit of measure	Min. Rate	Allowable	Provided
TOTAL (including 1 Adaptable car space)	111	1/40m²	2.78	3

Residential Car Parking Requirements (*)	No. of Units	Max. Rate	Required	Provided
Residential (Non-Adaptable Units)				
Studio	1	0.6	0.60	
1 bdrm	5	0.6	3.00	3
2 bdrm	14	0.9	12.60	13
3 bdrm		1.4		
SUB-TOTAL	20		16.20	16
Non-adaptable Visitor	1 per 5 apartments		4	4
TOTAL NON-ADAPTABLE CAR SPACES				
20				
Residential (Adaptable Units)				
1 bdrm	1	1/Adaptable unit	1	1
2 bdrm	2	1/Adaptable unit	2	2
3 bdrm				
SUB-TOTAL	3		3	3
Adaptable Visitor	-		1	1
TOTAL ADAPTABLE CAR SPACES				
4				
TOTAL CAR SPACES				
23				
26.98				
27				

Misc. Parking Requirements	Min. Rate	Allowable	Provided
Bicycle Parking Requirements			
Bicycle Storage facility	1 per every dwelling	23.0	24
Bicycle parking facility	1 per 12 dwelling	1.9	2
Bicycle parking facility retail	1per 300 sqm	0.4	1
Bicycle storage facility retail	1per 300 sqm	0.4	1
Total Bicycles		25.7	28

Open Spaces (in m²)	Min. Rate	Allowable	Provided
Common open space	25% of site area	216.75	219m²

Waste Management			
Private Contractor Collection			
		General	Recycling
RETAIL WASTE		Rate:	50L/100m2/day
		Total Volume weekly	389
		Bins 240L	-
		Bins 660L	0.6
		Bins provided	1
Council Collection			
RESIDENTIAL		Rate:	120L/unit/week
		Total Volume	2,760
		Bins 1100L(WASTE), 1100L(RECYCLING)	2.51
		Bins provided	3

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15-030	DA-0-005	B	27/06/2016
SCALE @ A3	DRAWN	AUTHORISED	
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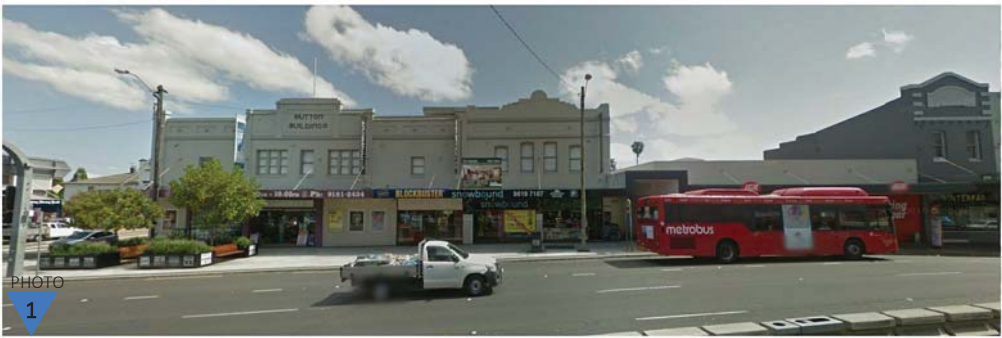
227 - 231 VICTORIA ROAD

CLIENT
J. BARLOTTA

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DRAWING			
SITE ANALYSIS 1			
PROJECT NO.	DRAWING NO.	REVISION	DATE
15-030	DA-0-101	A	27/06/2016
NOT TO SCALE	DRAWN	AUTHORISED	
	HW	AC	



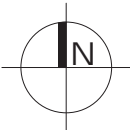


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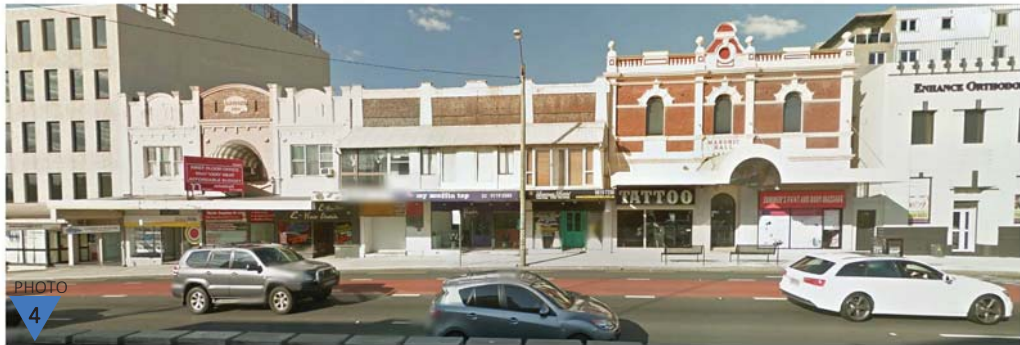
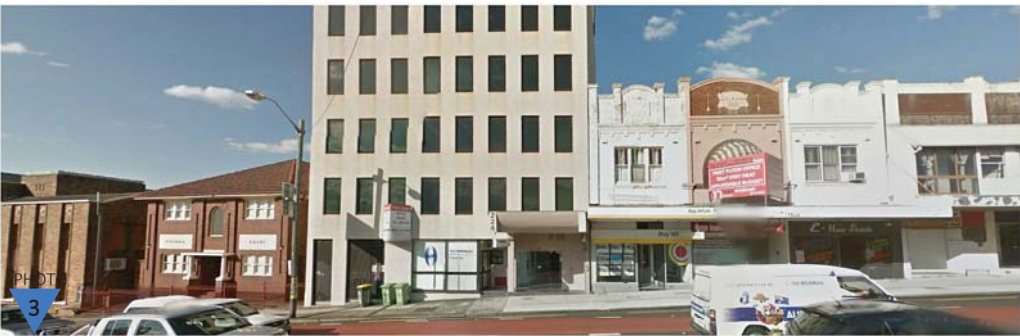
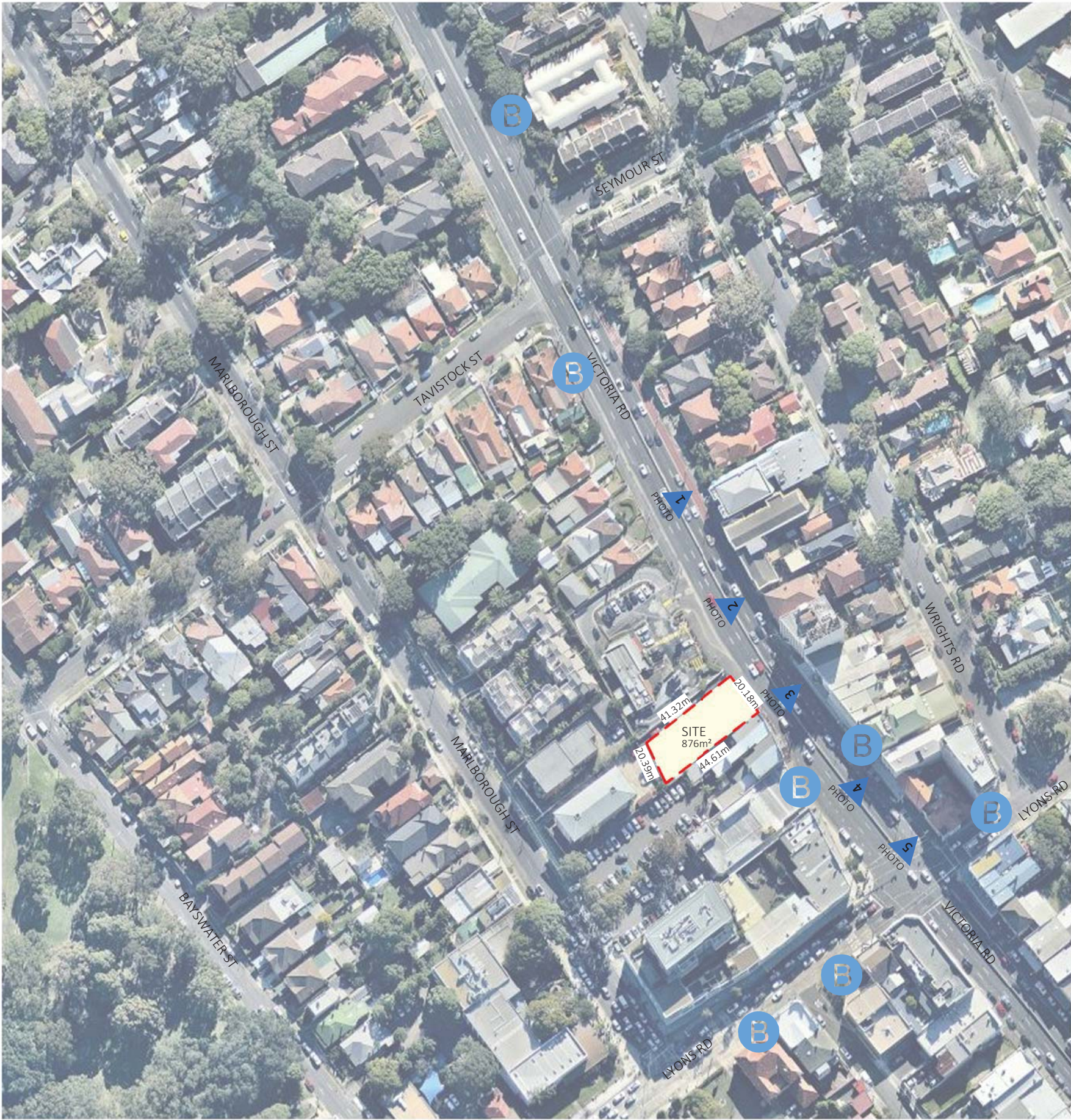
227 - 231 VICTORIA ROAD

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DEVELOPMENT APPLICATION

DRAWING			
SITE ANALYSIS 2			
PROJECT NO.	DRAWING NO.	REVISION	DATE
15-030	DA-0-102	A	27/06/2016
NOT TO SCALE		DRAWN	AUTHORISED
		HW	AC



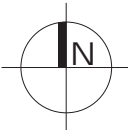


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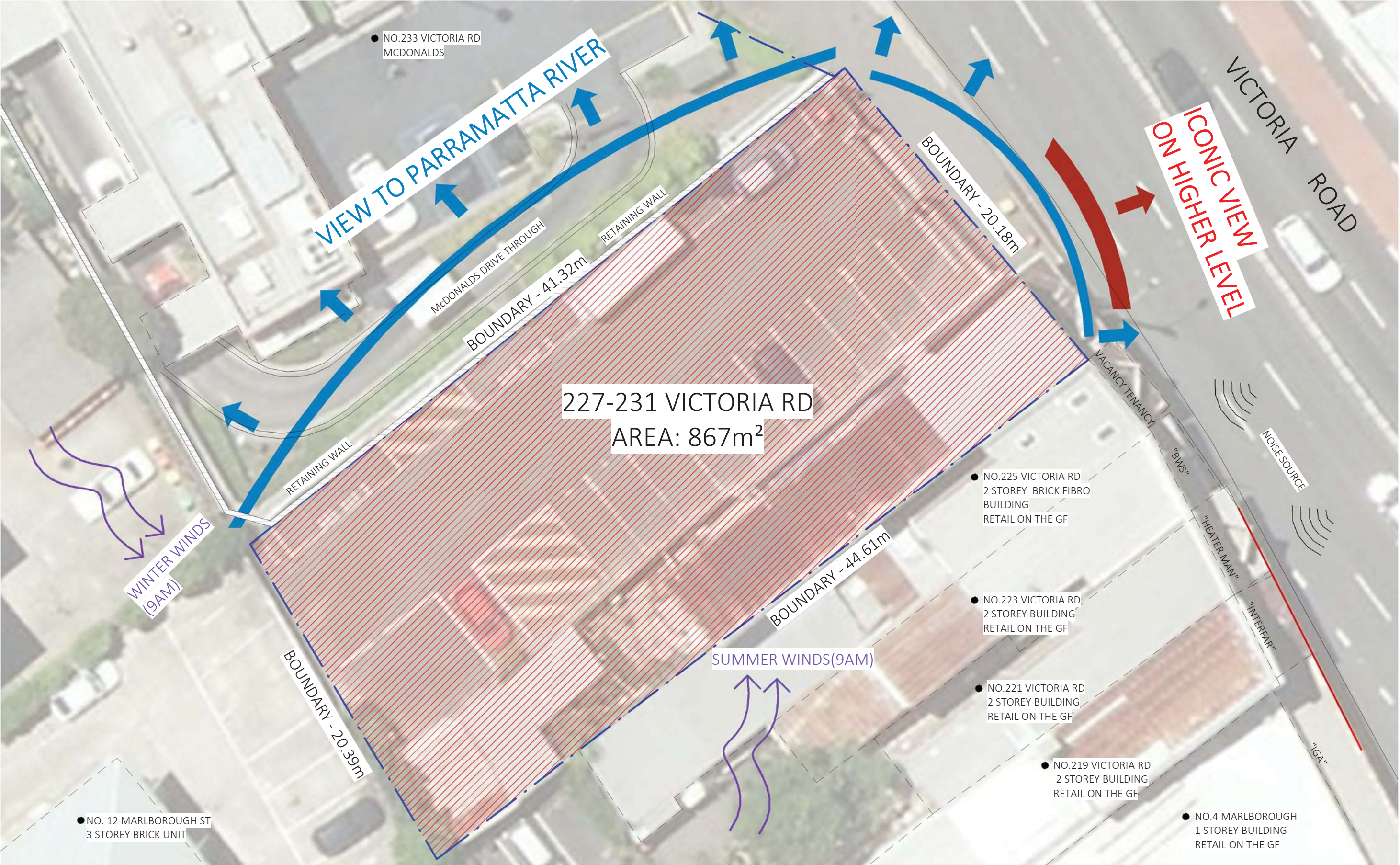
227 - 231 VICTORIA ROAD

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DRAWING			
SITE ANALYSIS 3			
PROJECT NO.	DRAWING NO.	REVISION	DATE
15-030	DA-0-103	A	27/06/2016
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		HW	AC





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DRAWING			
SITE ANALYSIS 4			
PROJECT NO.	DRAWING NO.	REVISION	DATE
15-030	DA-0-104	A	27/06/2016
SCALE @ A3	DRAWN	AUTHORISED	
1 : 200	SC	AC	
SCALE 1:200 10m			





LEGEND	
SKL	SKY LIGHT
T.O.P	TOP OF PARAPET
T.O.B	TOP OF BALUSTRADE

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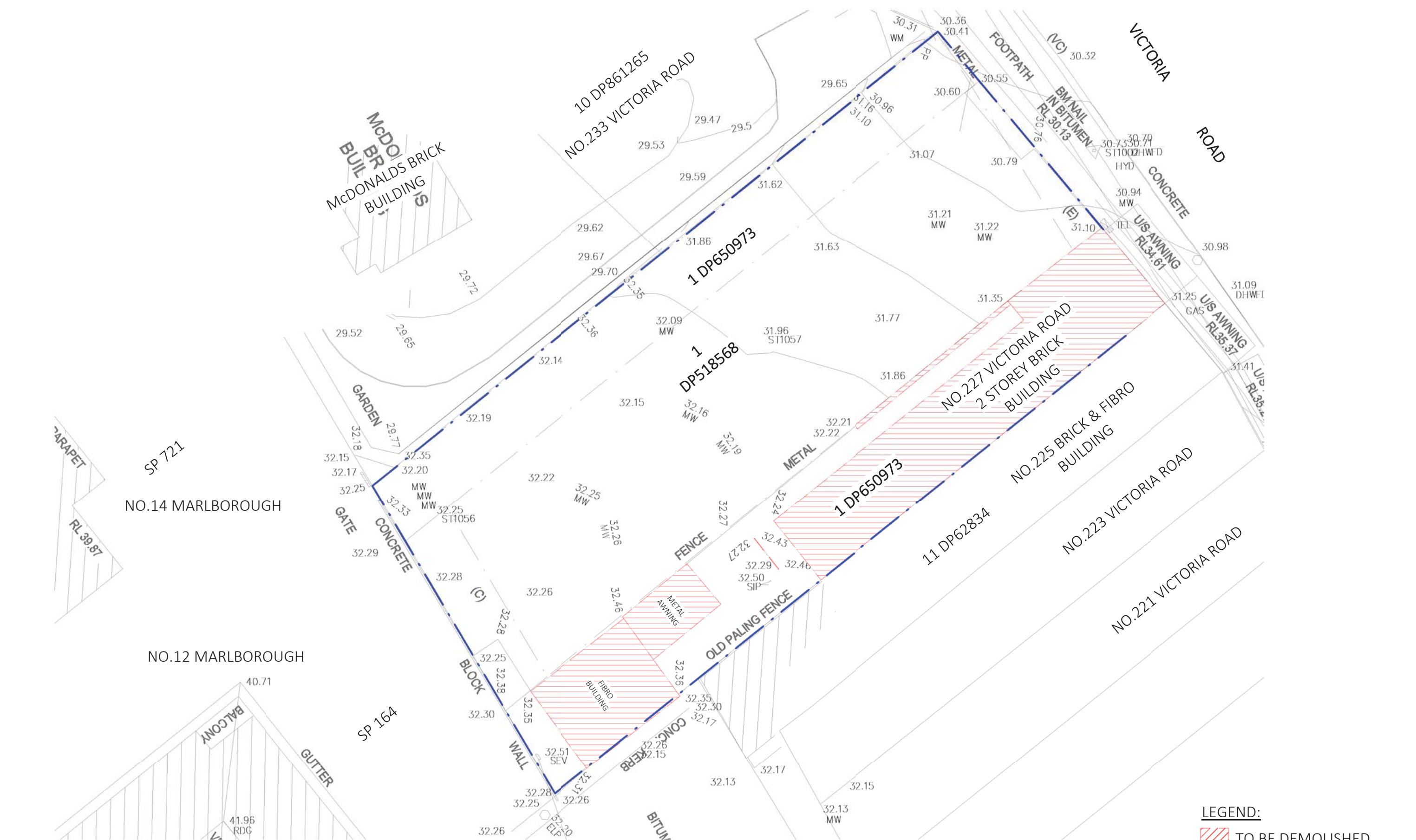
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DEVELOPMENT APPLICATION

DRAWING			
SITE PLAN 1			
PROJECT NO.	DRAWING NO.	REVISION	DATE
15-030	DA-0-105	B	27/06/2016
SCALE @ A3	DRAWN		AUTHORISED
1 : 500	SC		AC
SCALE 1:500 25m			





LEGEND:
 TO BE DEMOLISHED

NOTES:
ALL WORKS TO COMPLY WITH AS 2061-2001

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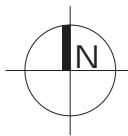
DEVELOPMENT APPLICATION

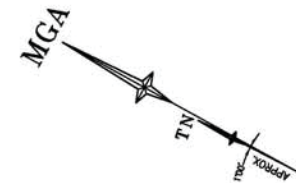
DRAWING
DEMOLITION PLAN

PROJECT NO.	DRAWING NO.	REVISION	DATE
15-030	DA-0-107	A	27/06/2016

SCALE @ A3	DRAWN	AUTHORISED
1 : 200	SC	AC

SCALE 1:200 10m





CONTINUED

SHEET 2

VICTORIA

ROAD

LEGEND

BENCH MARK	▲
TELSTRA PIT	■ TEL
ELECTRIC LIGHT POLE	● ELP
ELECTRICITY BOX	■ EL
POWER POLE	● PP
PIT WITH CONCRETE LID	□ CLID
PIT WITH METAL LID	□ MLID
STREET SIGN	■ SS
SEWER INSPECTION POINT	○ SIP
SEWER VENT	○ SEV
SEWER MANHOLE	○ SMH
MONITORING WELL	○ MW
STOP VALVE	■ SV
HYDRANT	■ HYD
WATER METER	■ WM
WATER VALVE	■ WV
GAS VALVE	■ GAS
VEHICLE CROSSING	(VC)
PRAM CROSSING	(PC)
WINDOW	W
DOOR	D
GAS (OBYD)	G
TELSTRA (OBYD)	T
WATER (OBYD)	W
SEWER (OBYD)	S
ELECTRICITY (OVERHEAD)	P
ELECTRICITY (UGROUND) (OBYD)	E

NOTES

1. THE BOUNDARIES HAVE NOT BEEN MARKED
2. ALL AREAS AND DIMENSIONS HAVE BEEN COMPILED FROM PLANS MADE AVAILABLE BY THE OFFICE OF LAND & PROPERTY INFORMATION (NSW) AND ARE SUBJECT TO FINAL SURVEY
3. ORIGIN OF LEVELS ON A.H.D. IS TAKEN FROM PM 27840 (2005) R.L. 31.204 (A.H.D.) IN VICTORIA ROAD
4. CONTOUR INTERVAL 0.5 m
5. CONTOURS ARE INDICATIVE ONLY. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION
6. KERB LEVELS ARE TO THE TOP OF KERB UNLESS SHOWN OTHERWISE
7. FLOOR LEVELS SHOWN ARE THRESHOLD LEVELS. NO INVESTIGATION OF INTERNAL FLOOR LEVELS HAS BEEN UNDERTAKEN
8. NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. SERVICES HAVE BEEN PLOTTED FROM RELEVANT AUTHORITIES INFORMATION AND HAVE NOT BEEN SURVEYED. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE
9. 8/4/7 DENOTES TREE SPREAD OF 8m, TRUNK DIAMETER OF 0.4m & APPROX HEIGHT OF 7m
10. SHOWS APPROXIMATE POSITION OF ROAD LINEMARKING AND IS INDICATIVE ONLY
11. BEARINGS SHOWN ARE MGA (MAP GRID OF AUSTRALIA) ADD APPROX. 1°00' FOR TRUE NORTH

- (A) RIGHT OF FOOTWAY (C759795) IN FAVOUR OF LOT 1 DP518568
(B) RIGHT OF WAY (D228956) IN FAVOUR OF LOT 1 DP518568
(C) RIGHT OF WAY (F31032) IN FAVOUR OF LOT 1 DP518568
(D) LAND EXCLUDES AREA SHOWN (GOV. GAZ DATED 13-05-1932 FOLIO 1538)
(E) INTEREST OF THE COUNCIL (GOV. GAZ. DATED 13-05-1932 FOLIO 1538)



REFER TO NOTES AND LEGEND



MARLBOROUGH

C	7/10/16	DESCRIPTION UPDATED TO No.52	437.67
B	6/10/16	ADJOINING BOUNDARIES ADDED, SITE ADDRESS UPDATED	437.67
A	22/09/16	ROAD WIDENED AREA ADDED BACK INTO PLAN	437.67
		ADJOINING BUILDINGS DETAIL & ELEVATIONS ADDED	437.67
Revision	Date	Description	Reference

THIS IS THE PLAN REFERRED TO IN MY LETTER DATED:
.....
Registered Surveyor NSW



Suite 1, Level 1
610 Pacific Highway
Gordon NSW 2072
Locked Bag 5
Gordon NSW 2072
P 1300 587 000
F 02 9499 7760

Client BARTOLOTTA PROPERTIES P/L
Drawing title
PLAN OF DETAIL AND LEVELS OVER LOT 1 IN DP650973
AND LOT 1 IN DP518568 KNOWN AS No 227-231
VICTORIA ROAD, DRUMMOYNE

datum
AHD
site Area
867.1m²
LGA
CANADA BAY

project number
42256
scale
1:200 @A1

reference number
42256DT
date of survey
29/07/15

SHEET
2
SHEETS

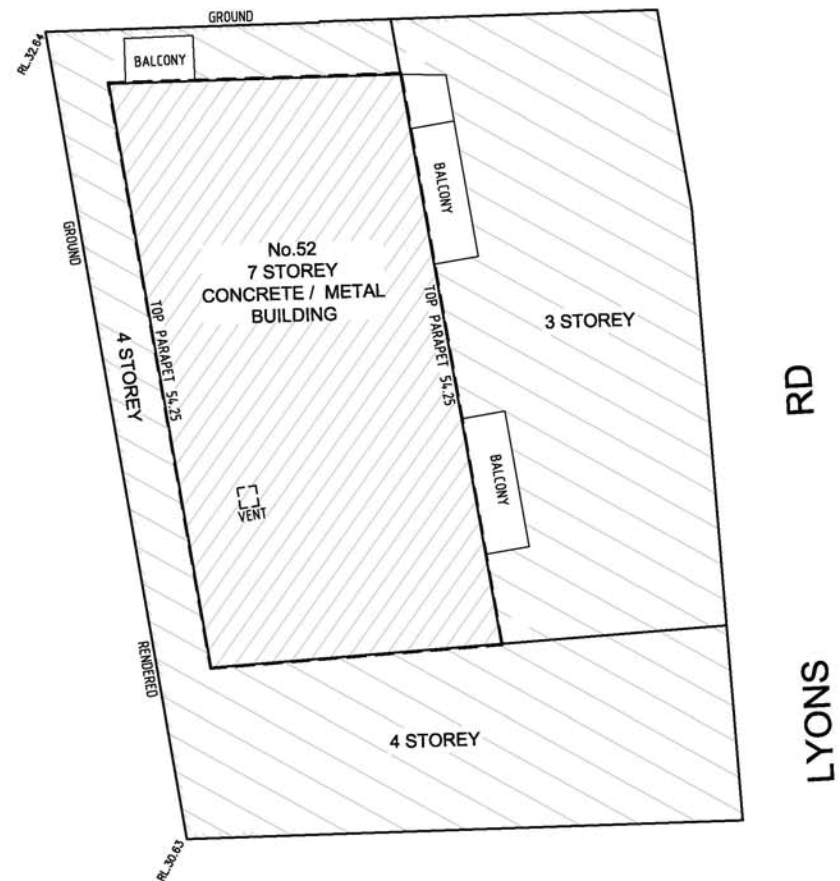
1

U/S EAVE RL 40.53					
BALC. RL 37.94	BRICK	W	W	BRICK	BALC. RL 37.94
	SILL		RL 38.03		
BALC. RL 35.30	HEAD	W	RL 37.82		BALC. RL 35.30
	SILL		RL 35.40		
	HEAD	W	RL 35.15		
	SILL		RL 32.62		

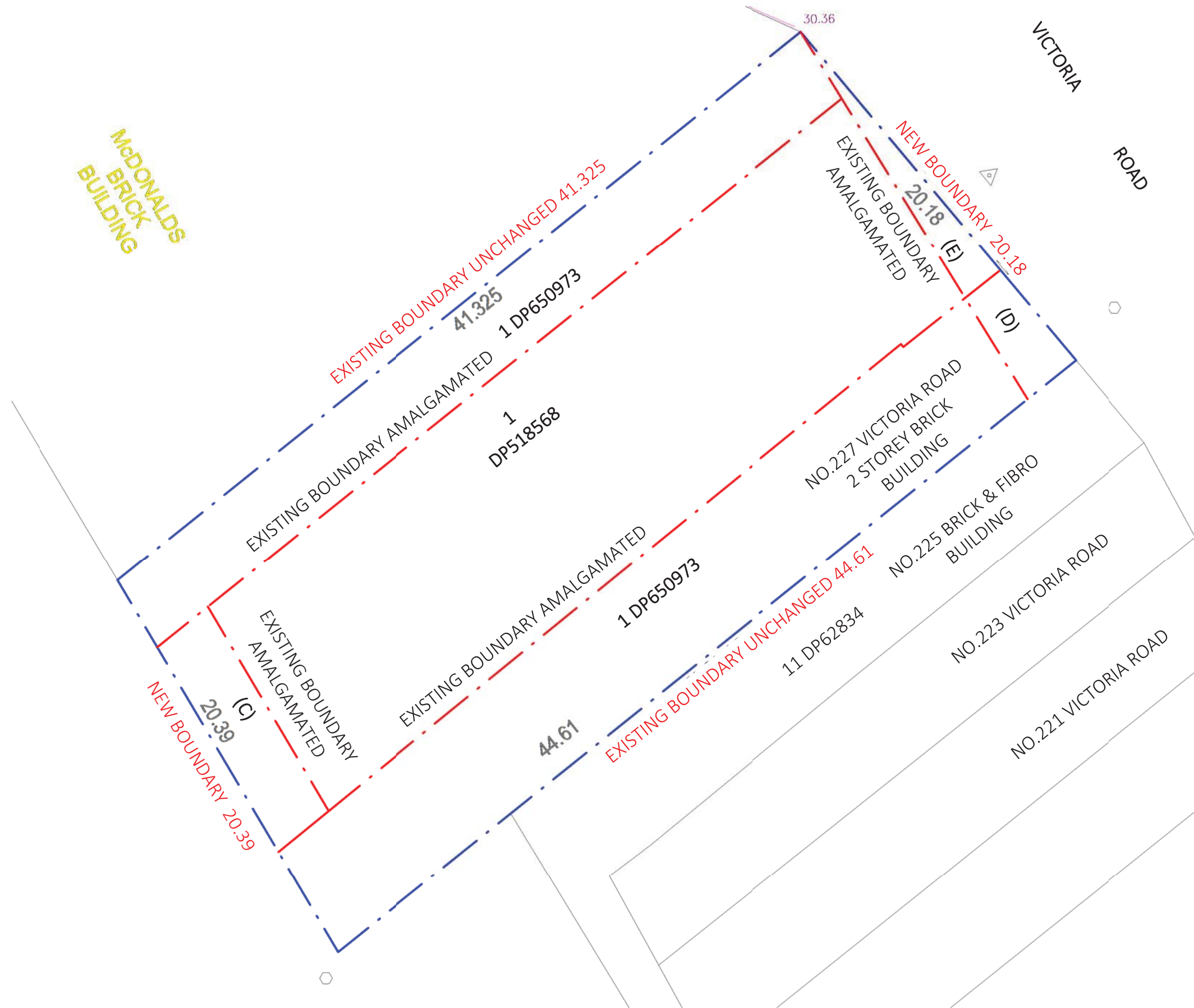
No 12
NORTHEASTERN ELEVATION
(SCALE 1:100)

PARAPET		RL 39.87
HEAD	W	RL 38.95
SILL		RL 37.47
HEAD	W	RL 36.18
SILL		RL 34.70
BRICK	BRICK	BRICK

No 14
NORTHEASTERN ELEVATION
(SCALE 1:100)



STREET



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Registration No: 5364

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REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	ISSUE FOR DA	28/10/2016	NT	AC



PROJECT
DRUMMOYNE

227 - 231 VICTORIA ROAD

CLIENT
J. BARLOTTA

DEVELOPMENT APPLICATION

DRAWING

AMALGAMATION PLAN

PROJECT NO.	DRAWING NO.	REVISION	DATE
15-030	DA-0-109	A	27/06/2016
SCALE @ A3		DRAWN	AUTHORISED
1 : 200		NT	AC
SCALE 1:200 10			



BASIX REQUIREMENTS

(a) Dwellings

(i) Water:

(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).

(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.

(g) The pool or spa must be located as specified in the table.

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(ii) Energy:

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(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.

(iii) Thermal Comfort:

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(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or
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(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.

(b) Common areas and central systems/facilities

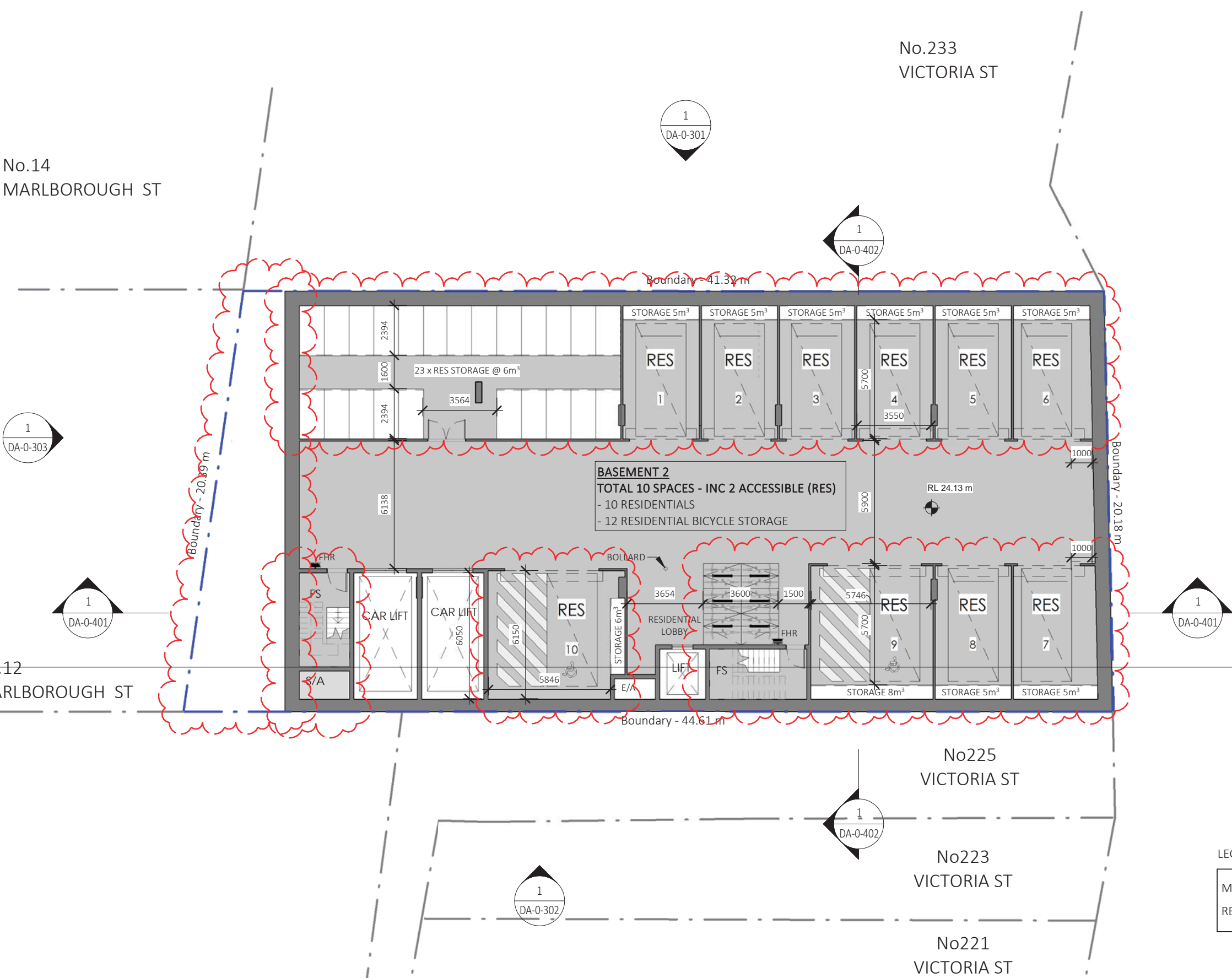
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(c) A swimming pool or spa listed in the table must not have a volume in (kLs) greater than that specified for the pool or spa in the table.

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LEGEND	
MC	MOTORCYCLE PARKING
RES	RESIDENTIAL PARKING

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A	ISSUE FOR DA	28/10/2016	NT	AC
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PROJECT
DRUMMOYNE

227 - 231 VICTORIA ROAD

CLIENT
J. BARLOTTA

DEVELOPMENT APPLICATION

DRAWING

BASEMENT 2

PROJECT NO.	DRAWING NO.	REVISION	DATE
15-030	DA-0-200	B	27/06/2016
SCALE @ A3	DRAWN AUTHORIZED		
1 : 200	MC,RD AC		

SCALE 1:200

10m



BASIX REQUIREMENTS

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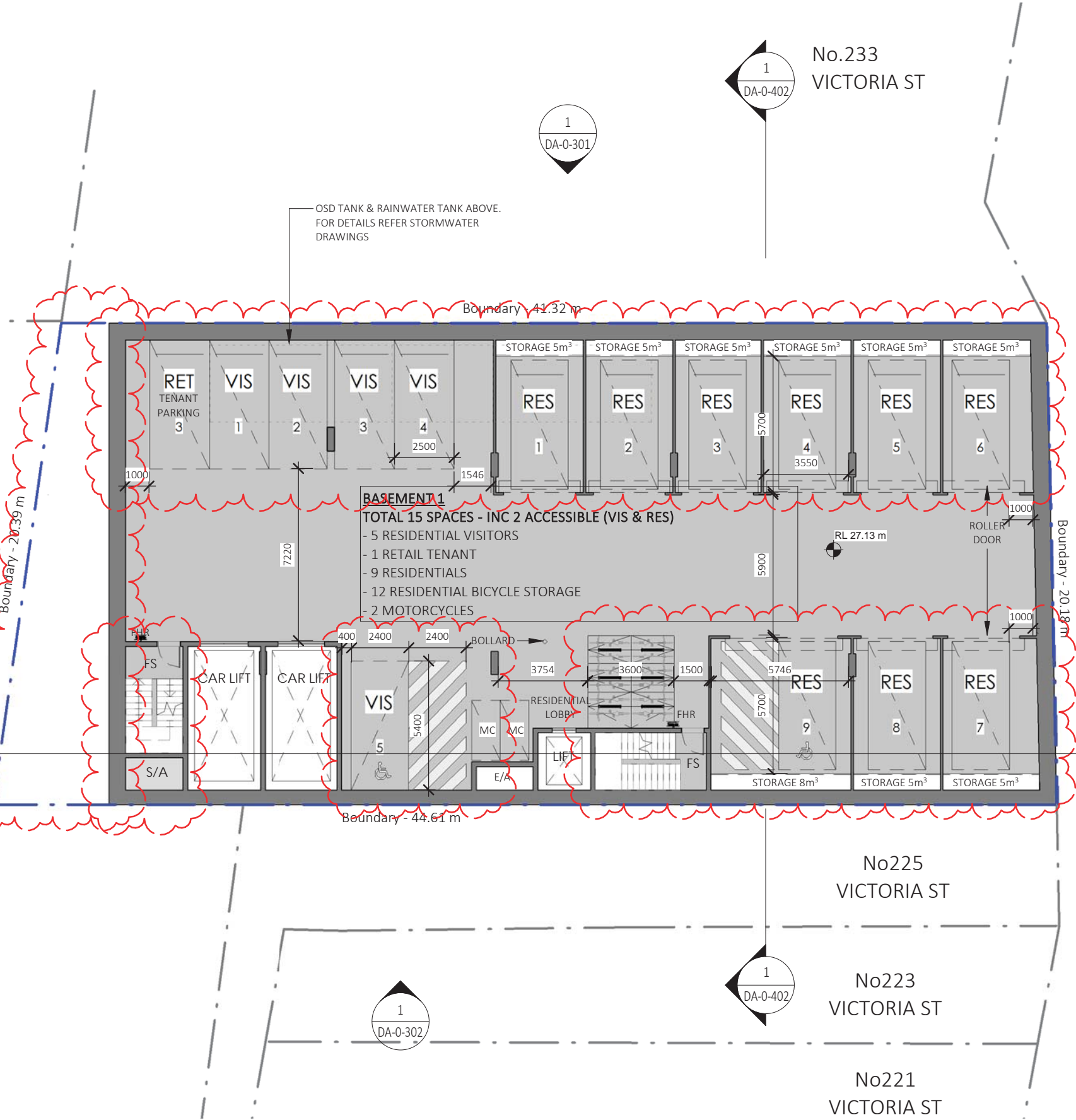
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No.14
MARLBOROUGH ST

No.12
MARLBOROUGH ST

No.233
VICTORIA ST

VICTORIA ROAD



LEGEND

MC	MOTORCYCLE PARKING
RES	RESIDENTIAL PARKING
VIS	VISITORS PARKING
COM	COMMERCIAL PARKING

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PROJECT
DRUMMOYNE

227 - 231 VICTORIA ROAD

CLIENT
J. BARTOLOTTA

DEVELOPMENT APPLICATION

PROJECT NO.	DRAWING NO.	REVISION	DATE
15-030	DA-0-201	B	27/06/2016
SCALE @ A3	DRAWN	AUTHORISED	
1 : 200	MC	AC	

SCALE 1:200 10m



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PROJECT
DRUMMOYNE

227 - 231 VICTORIA ROAD

CLIENT
J. BARLOTTA

DEVELOPMENT APPLICATION

DRAWING
GROUND FLOOR PLAN

PROJECT NO.
15-030

DRAWING NO.
DA-0-202

REVISION
B

DATE
27/06/2016

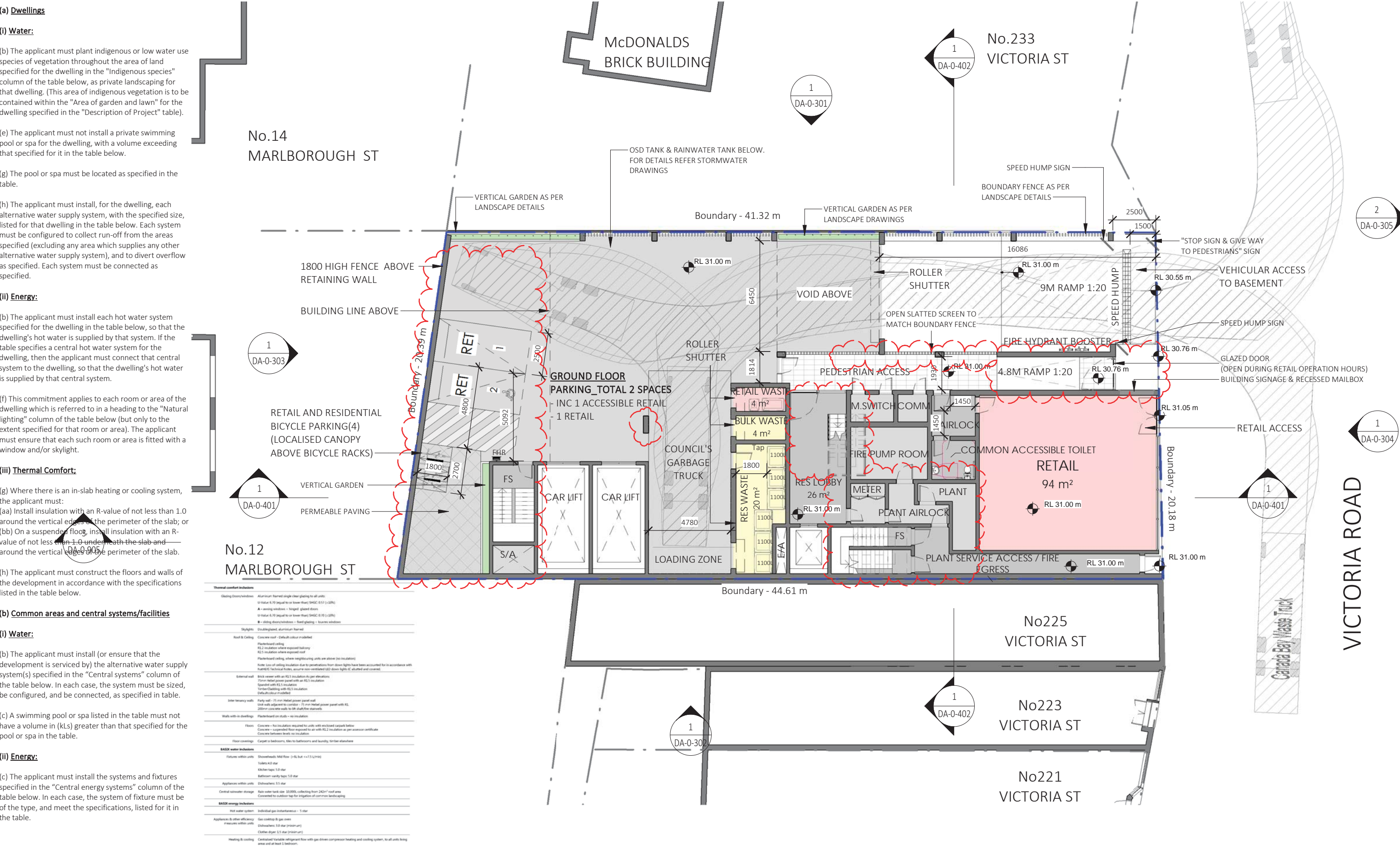
SCALE @ A3
1 : 200

DRAWN
MC, RD

AUTHORISED
AC

SCALE 1:200

10m



Thermal comfort inclusions	
Glazing doors/windows	Aluminium thermal single clear glazing to all units. (i) Value 6.70 (equal to or lower than) SHGC 0.57 (± 10%) A = sliding windows - large glazed doors (ii) Value 6.70 (equal to or lower than) SHGC 0.10 (± 10%) B = sliding doors/windows - fixed glazing - screen windows
Skylights	Double-glazed, aluminium framed
Roof & Ceiling	Concrete roof - Default colour modelled Flatboard ceiling R12 insulation where exposed balcony R2.5 insulation where exposed roof Flatboard ceiling, where neighbouring units are above (no insulation) Note: Use of ceiling insulation due to penetration from down lights have been accounted for in accordance with NABERS Technical Notes, ensure non-ventilated LED down lights are sealed and covered.
External wall	Brick veneer with an R1.5 insulation (as per elevation) 20mm metal power panel with an R1.5 insulation Timber cladding with R1.5 insulation Timber cladding with R1.5 insulation (Default colour modelled)
Inter-tenancy walls	Party wall - 75 mm metal power panel wall Solid wall adjacent to corridor - 75 mm metal power panel with R1.5 200mm concrete wall to 100 mm double-glazed doors
Walls with no dwellings	Flatboard on studs - no insulation
Floors	Concrete - no insulation required to units with enclosed carpark below Concrete - suspended floor exposed to air with R1.2 insulation as per assessor certificate Concrete between levels no insulation
Floor coverings	Carpet in bedrooms, tiles to bathrooms and laundry, timber elsewhere
BASIX water inclusions	
Fixtures within units	Showerheads: Max flow (4/6 bar) <= 7.5 L/min Toilets: 4.0 star Kitchens: 5.0 star Bathrooms vanity taps: 5.0 star
Appliances within units	Dishwashers: 3.5 star
Central rainwater storage	Rain water tank size: 50,000L, collecting from 240m² roof area Connected to outdoor tap for irrigation of common landscaping
BASIX energy inclusions	
Hot water system	Individual gas instantaneous - 5 star
Appliances & other efficiency measures within units	Gas cooktops & gas ovens (dishwashers: 3.0 star (minimum)) (Clothes dryer: 1.5 star (minimum))
Heating & cooling	Centralised Variable refrigerant flow with gas driven compressor heating and cooling system, to all units being areas and at least 1 bedroom

BASIX REQUIREMENTS

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No.14
MARLBOROUGH ST

No.12
MARLBOROUGH ST

McDONALDS
BRICK BUILDING

No.233
VICTORIA ST

No.225
VICTORIA ST

No.223
VICTORIA ST

No.221
VICTORIA ST

LEGEND:

- ACCESSIBLE UNIT
- LIVABLE UNIT
- S STORAGE
- STU STUDY
- R WARDROBE
- CLOTHES DRYING AREA
- FS FIRE STAIRS
- FE FIRE EXTINGUISHER
- GAS OUTLET
- TAP

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PROJECT
DRUMMOYNE

227 - 231 VICTORIA ROAD
CLIENT
J. BARTOLOTTA

DEVELOPMENT APPLICATION

DRAWING
LEVEL 1 FLOOR PLAN

PROJECT NO.	DRAWING NO.	REVISION	DATE
15-030	DA-0-203	B	27/06/2016
SCALE @ A3	DRAWN	AUTHORISED	
1 : 200	MC, RD	AC	

SCALE 1:200 10m



BASIX REQUIREMENTS

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VICTORIA ST

LEGEND:

- ACCESSIBLE UNIT
- LIVABLE UNIT
- S STORAGE
- STU STUDY
- R WARDROBE
- CLOTHES DRYING AREA
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PROJECT
DRUMMOYNE

227 - 231 VICTORIA ROAD

CLIENT
J. BARTOLOTTA

DEVELOPMENT APPLICATION

DRAWING
LEVEL 2 FLOOR PLAN

PROJECT NO.	DRAWING NO.	REVISION	DATE
15-030	DA-0-204	B	27/06/2016
SCALE @ A3	DRAWN	AUTHORISED	
1 : 200	MC, RD	AC	

SCALE 1:200 10m



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(ii) Energy:

(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system of fixture must be of the type, and meet the specifications, listed for it in the table.

Dickson Rothschild
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Nominated Architect: Robert Nigel Dickson
Registration No: 5364

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REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	ISSUE FOR DA	28/10/2016	NT	AC
B	AMENDED AS PER COUNCIL RFI	10/04/2016	MC	AC



PROJECT
DRUMMOYNE

227 - 231 VICTORIA ROAD

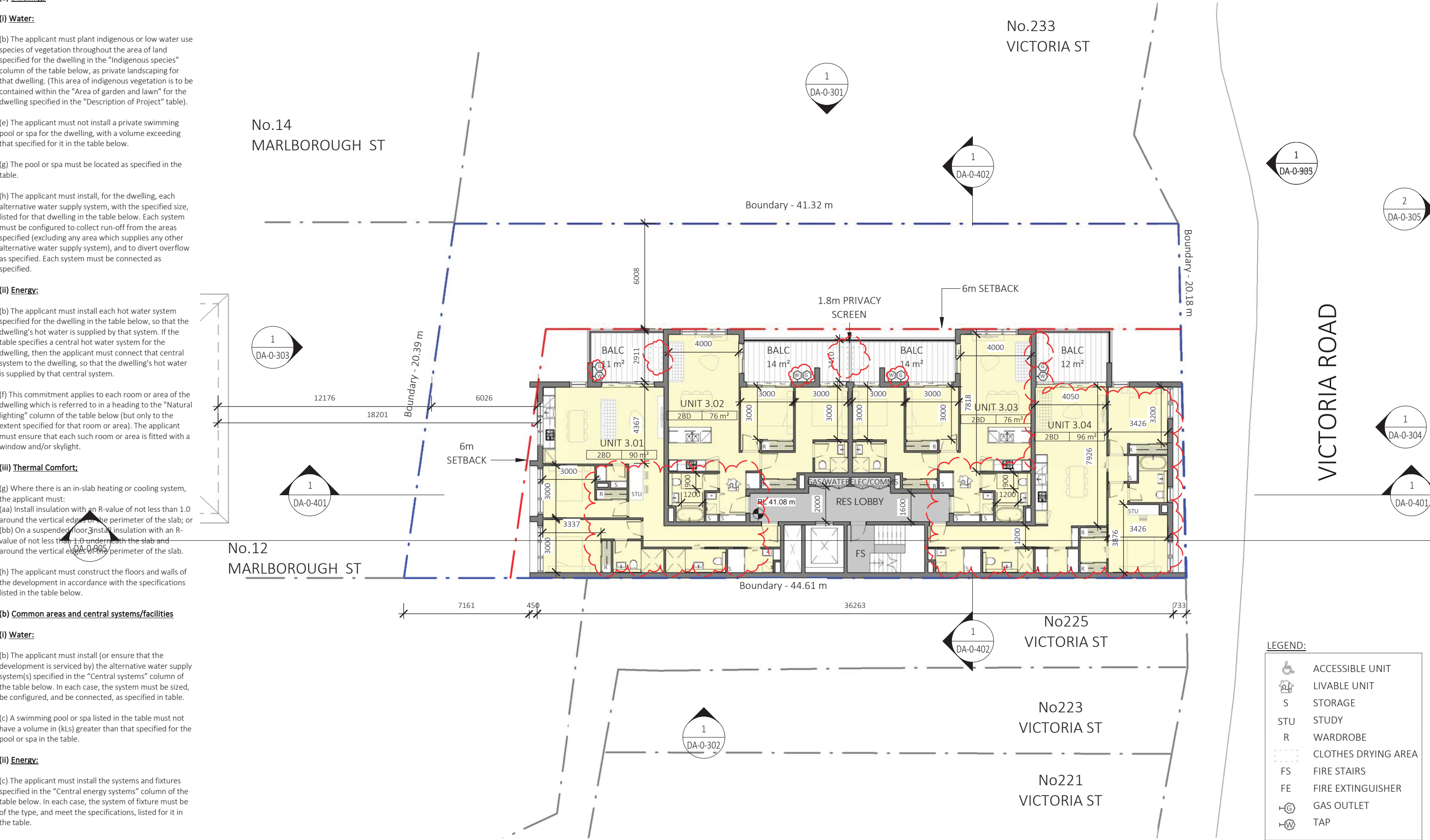
CLIENT
J. BARLOTTA

DEVELOPMENT APPLICATION

DRAWING
LEVEL 3 FLOOR PLAN

PROJECT NO.	DRAWING NO.	REVISION	DATE
15-030	DA-0-205	B	27/06/2016
SCALE @ A3	DRAWN	AUTHORISED	
1 : 200	MC, RD	AC	

SCALE 1:200 10m



BASIX REQUIREMENTS

(a) Dwellings

(i) Water:

(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).

(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.

(g) The pool or spa must be located as specified in the table.

(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.

(ii) Energy:

(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.

(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.

(iii) Thermal Comfort:

(g) Where there is an in-slab heating or cooling system, the applicant must:
(aa) Install insulation with an R-value of not less than 1.0 around the vertical edge of the perimeter of the slab; or
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edge of the perimeter of the slab.

(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.

(b) Common areas and central systems/facilities

(i) Water:

(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in table.

(c) A swimming pool or spa listed in the table must not have a volume in (kLs) greater than that specified for the pool or spa in the table.

(ii) Energy:

(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system of fixture must be of the type, and meet the specifications, listed for it in the table.

No.14
MARLBOROUGH ST

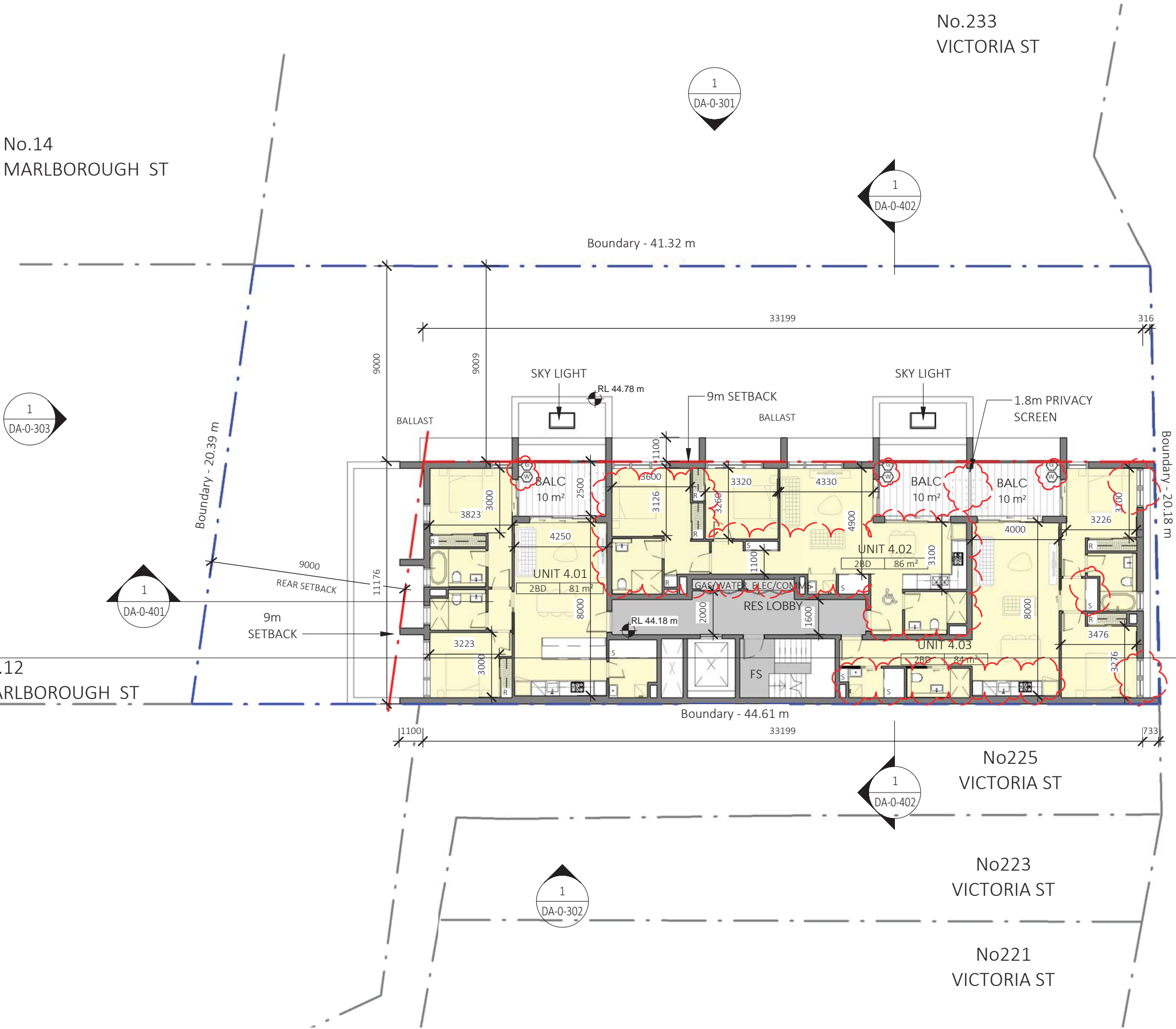
No.12
MARLBOROUGH ST

No.233
VICTORIA ST

No.225
VICTORIA ST

No.223
VICTORIA ST

No.221
VICTORIA ST



LEGEND:

	ACCESSIBLE UNIT
	LIVABLE UNIT
	STORAGE
	STUDY
	WARDROBE
	CLOTHES DRYING AREA
	FIRE STAIRS
	FIRE EXTINGUISHER
	GAS OUTLET
	TAP

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REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	ISSUE FOR DA	28/10/2016	NT	AC
B	AMENDED AS PER COUNCIL RFI	10/04/2016	MC	AC

PROJECT
DRUMMOYNE

227 - 231 VICTORIA ROAD
CLIENT
J. BARTOLOTTA

DEVELOPMENT APPLICATION

DRAWING
LEVEL 4 FLOOR PLAN

PROJECT NO.	DRAWING NO.	REVISION	DATE
15-030	DA-0-206	B	27/06/2016
SCALE @ A3	DRAWN	AUTHORISED	
1 : 200	MC, RD	AC	



BASIX REQUIREMENTS

(a) Dwellings

(i) Water:

(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).

(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.

(g) The pool or spa must be located as specified in the table.

(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.

(ii) Energy:

(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.

(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.

(iii) Thermal Comfort:

(g) Where there is an in-slab heating or cooling system, the applicant must:
(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.

(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.

(b) Common areas and central systems/facilities

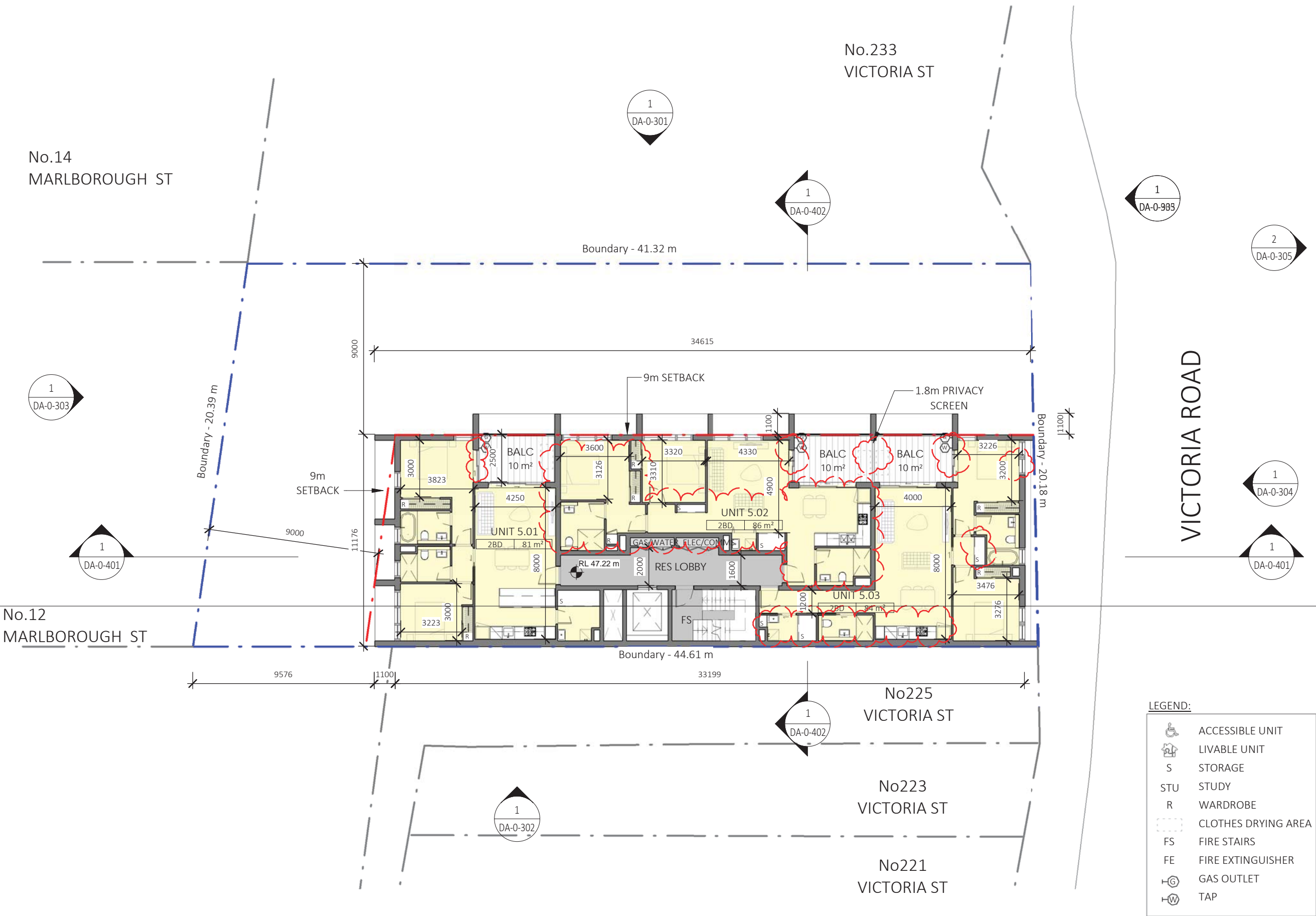
(i) Water:

(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in table.

(c) A swimming pool or spa listed in the table must not have a volume in (kLs) greater than that specified for the pool or spa in the table.

(ii) Energy:

(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system of fixture must be of the type, and meet the specifications, listed for it in the table.



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PROJECT
DRUMMOYNE

227 - 231 VICTORIA ROAD

CLIENT
J. BARLOTTA

DEVELOPMENT APPLICATION

DRAWING
LEVEL 5 FLOOR PLAN

PROJECT NO.	DRAWING NO.	REVISION	DATE
15-030	DA-0-207	B	27/06/2016
SCALE @ A3	DRAWN	AUTHORISED	
1 : 200	MC, RD	AC	

SCALE 1:200 10m



BASIX REQUIREMENTS

(a) Dwellings

(i) Water:

(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).

(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.

(g) The pool or spa must be located as specified in the table.

(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.

(ii) Energy:

(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.

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(iii) Thermal Comfort:

(g) Where there is an in-slab heating or cooling system, the applicant must:
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(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.

(b) Common areas and central systems/facilities

(i) Water:

(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in table.

(c) A swimming pool or spa listed in the table must not have a volume in (kLs) greater than that specified for the pool or spa in the table.

(ii) Energy:

(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system of fixture must be of the type, and meet the specifications, listed for it in the table.

No.14
MARLBOROUGH ST

1
DA-0-303

No.12
MARLBOROUGH ST

1
DA-0-401

1
DA-0-301

1
DA-0-402

1
DA-0-903

2
DA-0-305

1
DA-0-304

1
DA-0-401

1
DA-0-302

1
DA-0-402

LEGEND:

	ACCESSIBLE UNIT
	LIVABLE UNIT
	STORAGE
	STUDY
	WARDROBE
	CLOTHES DRYING AREA
	FIRE STAIRS
	FIRE EXTINGUISHER
	GAS OUTLET
	TAP

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A	ISSUE FOR DA	28/10/2016	NT	AC
B	AMENDED AS PER COUNCIL RFI	10/04/2016	MC	AC



PROJECT
DRUMMOYNE

227 - 231 VICTORIA ROAD
CLIENT
J. BARTOLOTTA

DEVELOPMENT APPLICATION

DRAWING
LEVEL 6 FLOOR PLAN

PROJECT NO.	DRAWING NO.	REVISION	DATE
15-030	DA-0-208	B	27/06/2016
SCALE @ A3	DRAWN	AUTHORISED	
1 : 200	MC,RD	AC	

SCALE 1:200 10m



BASIX REQUIREMENTS

(a) Dwellings

(i) Water:

(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).

(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.

(g) The pool or spa must be located as specified in the table.

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(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.

(b) Common areas and central systems/facilities

(i) Water:

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Nominated Architect: Robert Nigel Dickson

Registration No: 5364

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A	ISSUE FOR DA	28/10/2016	NT	AC
B	AMENDED AS PER COUNCIL RFI	10/04/2016	MC	AC



PROJECT

DRUMMOYNE

227 - 231 VICTORIA ROAD

CLIENT

J. BARLOTTA

DEVELOPMENT APPLICATION

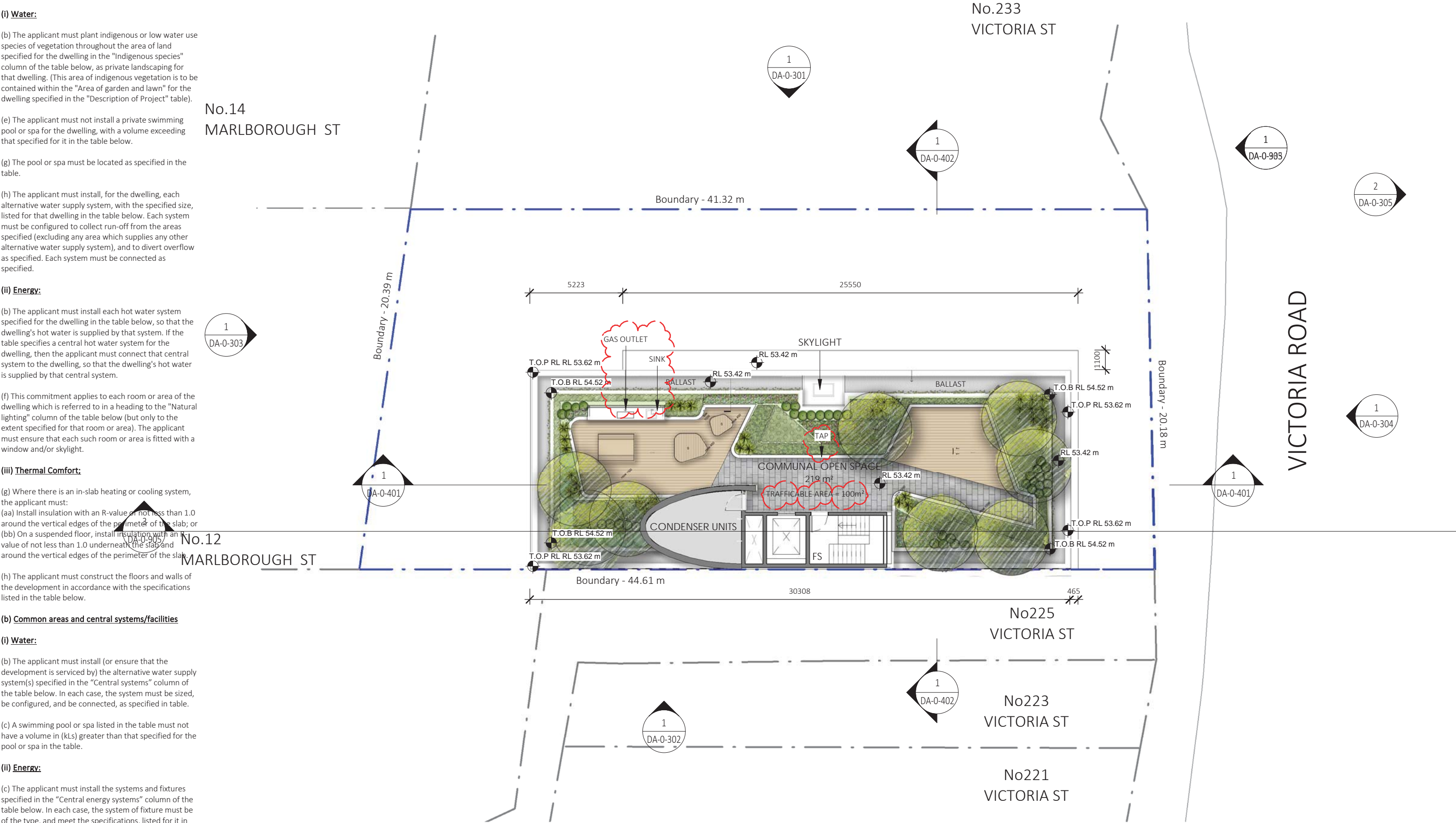
DRAWING

COMMUNAL OPEN SPACE

PROJECT NO.	DRAWING NO.	REVISION	DATE
15-030	DA-0-210	B	27/06/2016
SCALE @ A3	DRAWN	AUTHORISED	
1 : 200	RD	AC	

SCALE 1:200

10m



BASIX REQUIREMENTS

(a) Dwellings

(i) Water:

(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).

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(iii) Thermal Comfort:

(g) Where there is an in-slab heating or cooling system, the applicant must:

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(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.

(b) Common areas and central systems/facilities

(i) Water:

(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in table.

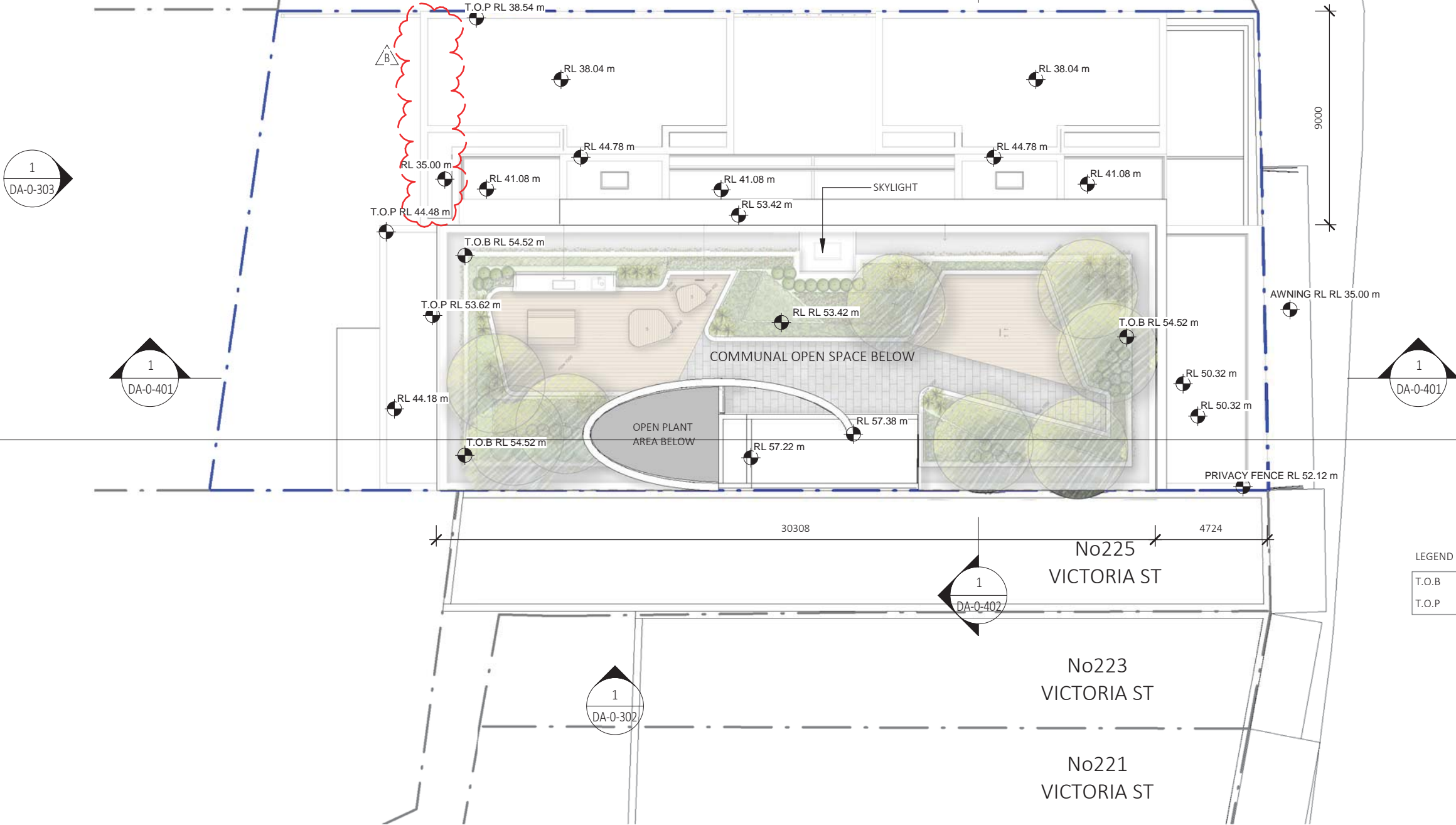
(c) A swimming pool or spa listed in the table must not have a volume in (kLs) greater than that specified for the pool or spa in the table.

(ii) Energy:

(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system of fixture must be of the type, and meet the specifications, listed for it in the table.

No.14
MARLBOROUGH ST

No.233
VICTORIA ST



LEGEND	
T.O.B	TOF OF BALUSTRADE
T.O.P	TOF OF PARAPET

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A	ISSUE FOR DA	28/10/2016	NT	AC
B	AMENDED AS PER COUNCIL RFI	10/04/2016	MC	AC



PROJECT
DRUMMOYNE

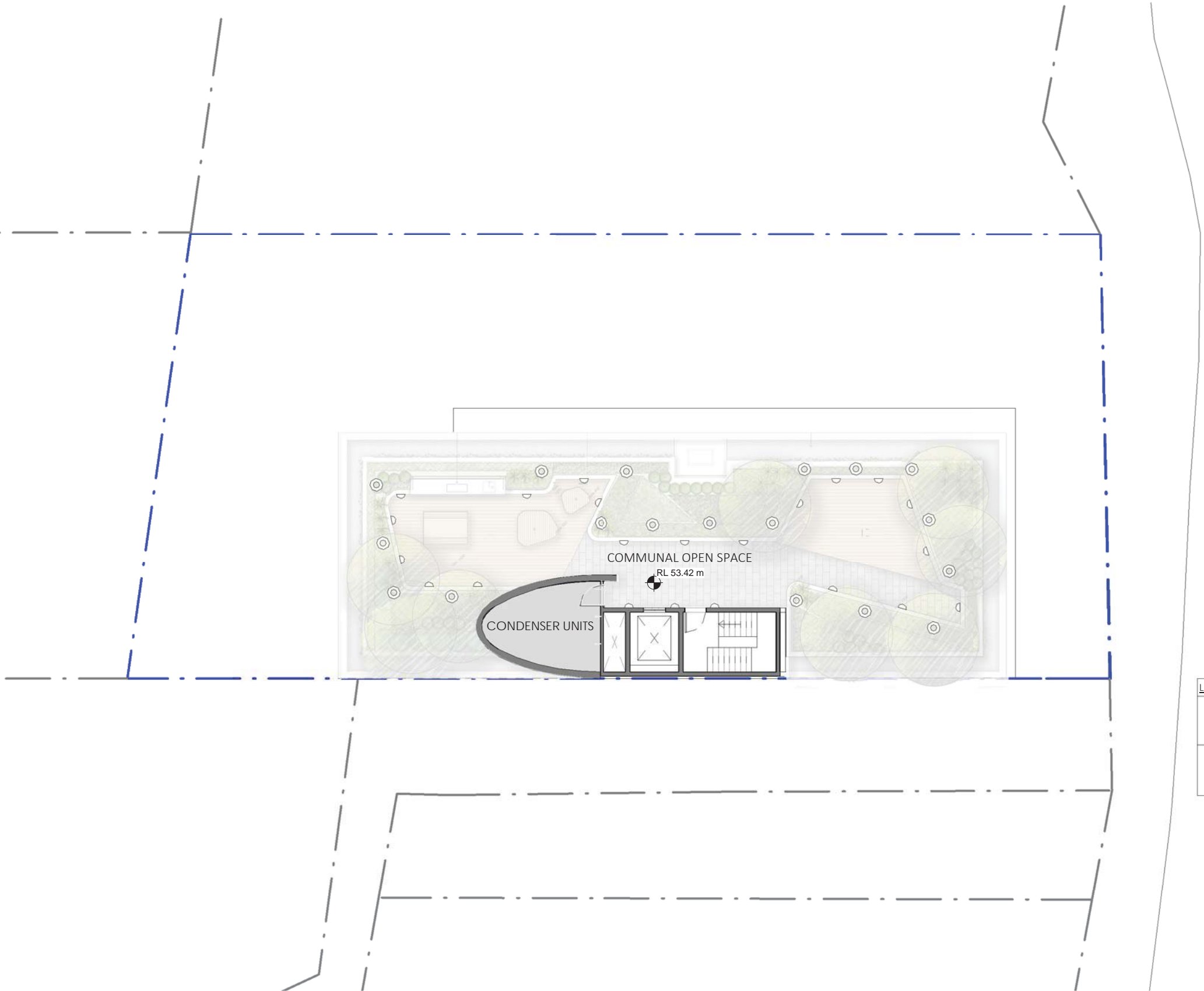
227 - 231 VICTORIA ROAD

CLIENT
J. BARTOLOTTA





DEVELOPMENT APPLICATION

DRAWING			
ROOF			
PROJECT NO.	DRAWING NO.	REVISION	DATE
15-030	DA-0-211	B	27/06/2016
SCALE @ A3	DRAWN	AUTHORISED	
1 : 200	RD	AC	
SCALE 1:200 10m			





VICTORIA ROAD

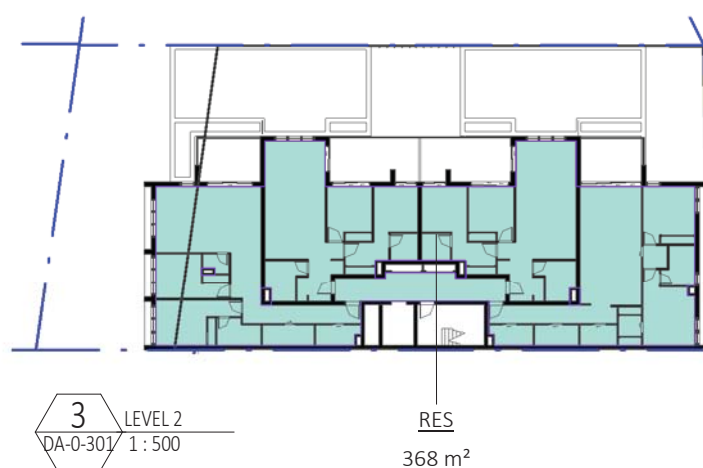
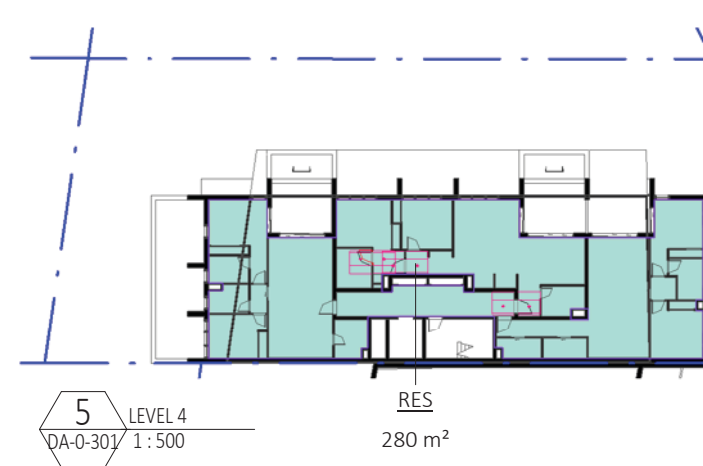
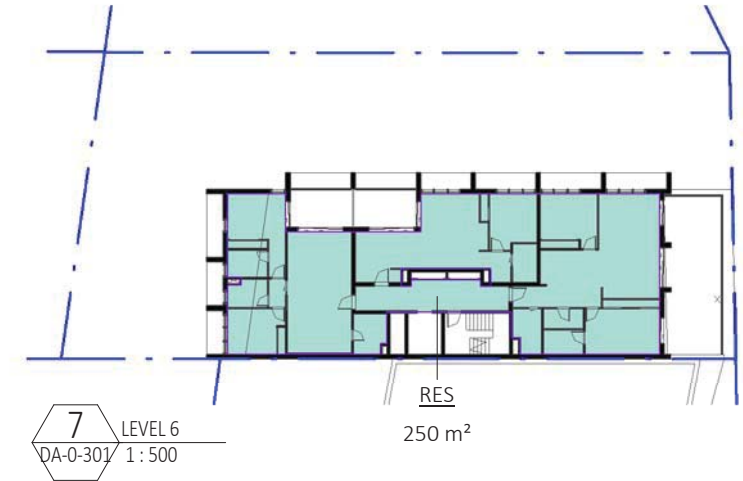
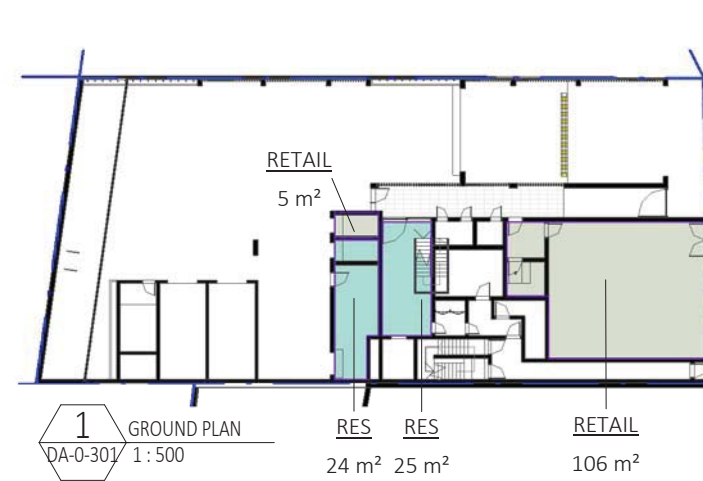
LEGEND:			
		STAKE LIGHTING	
		RECESSED OUTDOOR WALL LIGHTING	

REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	AMENDED AS PER COUNCIL RFI	10/04/2016	MC	AC



DRAWING			
ROOFTOP LIGHTING PLAN			
PROJECT NO. 15-030	DRAWING NO. DA-0-212	REVISION A	DATE 27/06/2016
SCALE @ A3 1 : 200	DRAWN RD	AUTHORISED AC	





REV	DESCRIPTION	DATE	ISSUED	CHECKED
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B	AMENDED AS PER COUNCIL RFI	10/04/2016	MC	AC

